



# 10 SUNNYSIDE AVE. COMPREHENSIVE PERMIT

## INDEX OF DRAWINGS

GENERAL	
G.0.00	COVER SHEET
G.0.01	LOCUS MAP
G.0.02	BUILDING RENDERINGS
G.0.03	BUILDING RENDERINGS
SURVEY	
-	ALTA / NSPS LAND TITLE SURVEY SHEET 1/1
-	ALTA / NSPS LAND TITLE SURVEY SHEET 2/2
CIVIL	
C1.00	SITE PREPARATION AND EROSION CONTROL PLAN
C2.00	SITE LAYOUT PLAN
C3.00	SITE UTILITY PLAN
C4.00	GRADING PLAN
C5.00	STORMWATER MANAGEMENT PLAN
C6.00	CIVIL DETAILS
C6.01	CIVIL DETAILS
C6.02	CIVIL DETAILS
ARCHITECTURAL	
A1.01	FLOOR PLAN - FIRST FLOOR
A1.02	FLOOR PLAN - SECOND FLOOR
A1.03	FLOOR PLAN - THIRD & FOURTH FLOORS
A1.05	FLOOR PLAN - FIFTH FLOOR
A1.07	FLOOR PLAN - ROOF
A3.00	EXTERIOR ELEVATION - EAST (SUNNYSIDE AVE)
A3.01	EXTERIOR ELEVATION - WEST (REAR)
A3.02	EXTERIOR ELEVATION - SOUTH
A3.03	EXTERIOR ELEVATION - NORTH
A3.10	BUILDING AXONS
A3.50	BUILDING SECTIONS - E-W
A3.51	BUILDING SECTIONS - N-S

## ZONING SUMMARY

REGULATIONS	REF. SECTION	ALLOWED	PROPOSED	RELIEF REQUESTED
LOT AREA MIN.	Table 5.5.2.A	No Requirement	16,500 sf	N
LOT AREA MIN. PER UNIT	Table 5.5.2.A	No Requirement	N/A	N
LOT FRONTAGE MIN.	Table 5.5.2.A	50'	132'	N
FRONT SETBACK	Table 5.5.2.B	0'	2' to 10'	N
SIDE SETBACK	Table 5.5.2.B	0'	5'-6" and 12'	N
REAR SETBACK	Table 5.5.2.B	10+(L/10)	5'-6"	Y
SCREENING & BUFFERING	Sec. 5.3.21.A.1	Not Required	N/A. Site does not abut residential lots, not subject to screening requirements	N
SCREENING FOR OFFSTREET PARKING	Sec. 5.3.21.A.2	Not Required per 6.1.11.C	N/A. All parking is within building, not subject to screening requirements	N
UPPER-STORY STEPBACKS	Sec. 5.3.21.A.2.C	7.5' required above the third story	6' and 3' stepbacks for part of L5, otherwise none	Y
OPEN SPACE	Sec. 5.5.2.B and 5.3.21.A.2.D	Min. 10% Landscape and 20% Usable Open Space	1,500 Landscape and 2,000 sf Usable Open Space	Y
FAR	Sec. 5.5.2B Amendment, June 2022	3	2.97	N
BUILDING HEIGHT	Table 5.5.2.B	60' / 5 stories	60' / 5 stories	N
PARKING MIN.	Sec. 6.1.5	0.25 spaces per DU	0.49	N
LONG-TERM BIKE PARKING MIN.	Sec. 6.1.12	1.5/DU and 0.3/1000 gsf Office	37 (65 required)	Y
SHORT-TERM BIKE PARKING MIN.	Sec. 6.1.12	0.1/DU and 0.5/1000 gsf Office	6 (5 required)	Y
SURFACE PARKING LOT SETBACK	Sec. 6.1.11.D	10' front and 5' sides and rear with fence	10' front and 5'-6" to 12' sides	Y

NOTE: Refer to formal waiver request prepared by project attorney for additional detail.

## AREA SUMMARY

LEVEL	GSF	NON-RESIDENTIAL PROGRAM		
		1-BR	2-BR	3-BR
SITE AREA	16500			
GROUND FLOOR	3408	0	0	0
SECOND FLOOR	11520	3	5	2
THIRD FLOOR	11520	4	5	2
FOURTH FLOOR	11520	4	5	2
FIFTH FLOOR	11038	5	5	1
TOTAL	49006	16	20	7

10 SUNNYSIDE  
AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

PROJECT

Housing Corporation of  
Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 F 000.000.0000

OWNER

**utile**  
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617.423.2000 F 617.423.1414  
utilidesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6698

CIVIL

BF&A

17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

M/E/P/FF

STAMP

DATE ISSUE / REVISION  
03/09/2023 COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER  
2244

COVER SHEET

**G0.00**

**10 SUNNYSIDE  
AVE.**

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

PROJECT

Housing Corporation of  
Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 F 000 000.000

OWNER

**utile**  
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617.423.2200 F 617.423.1414  
utiledesign.com

ARCHITECT

**SAMIOTES CONSULTANTS INC.**

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6698

CIVIL

**BF&A**

17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301

CODE

**BLW ENGINEERS**

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

M/E/P/FP

STAMP

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

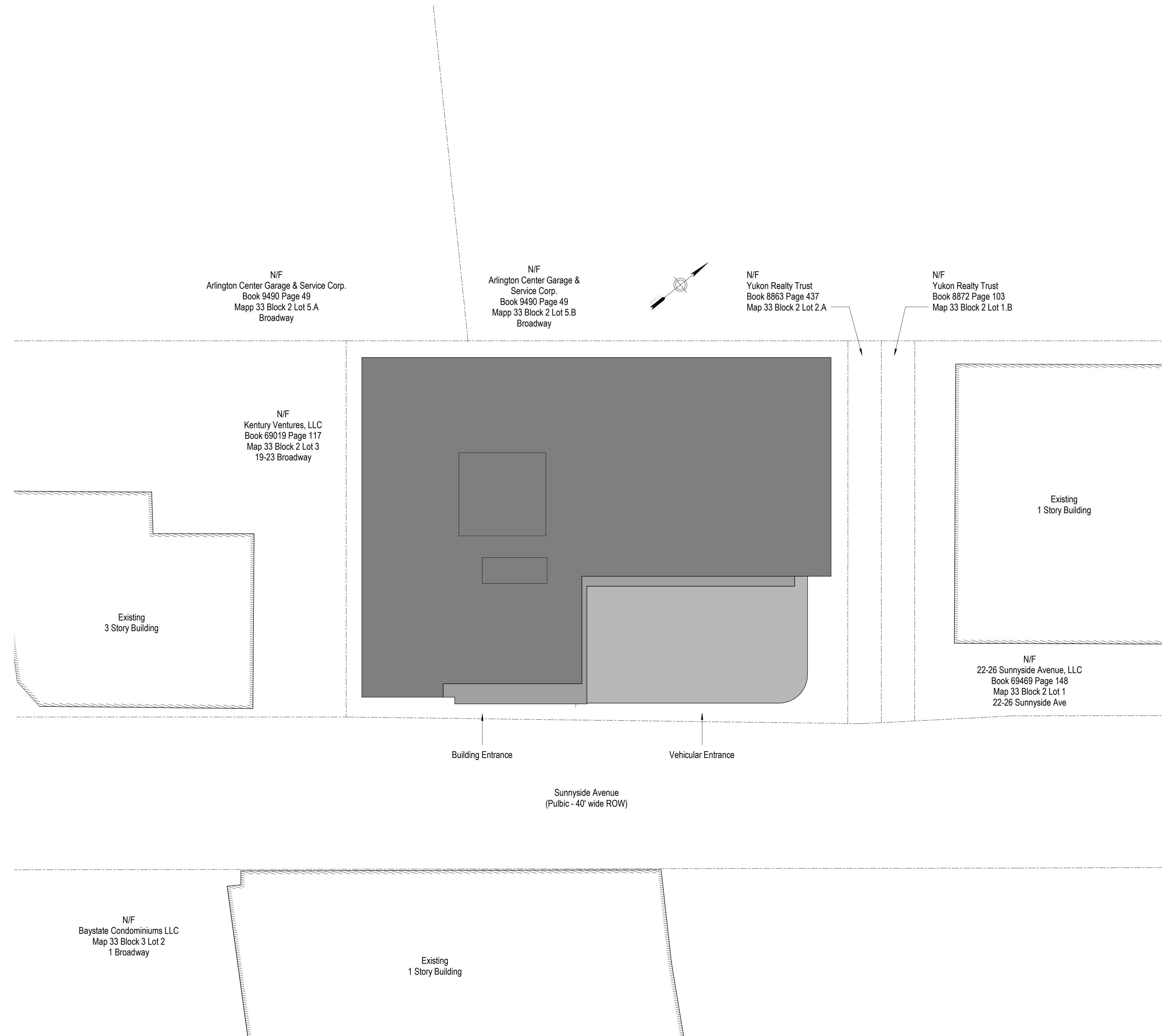
**REVISIONS ON SHEET**

SCALE **1/16" = 1'-0"** UTILE PROJECT NUMBER **2244**

**LOCUS MAP**

**G0.01**

39/2023 11:13:16 AM



**1 Locus Plan - 100ft**  
1/16" = 1'-0"



**2** Rendering - Axon  
1/4" = 1'-0"



**1** Rendering - E elevational Perspective  
1/4" = 1'-0"

10 SUNNYSIDE  
AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

PROJECT

Housing Corporation of  
Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 F 000 000.0000

OWNER

**utile**  
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617.423.7200 F 617.423.1414  
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6698

CIVIL

BF&A

17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

M/E/P/FP

STAMP

DATE ISSUE / REVISION  
03/09/2023 COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER  
1/4" = 1'-0" 2244

BUILDING RENDERINGS

**G0.02**



**2** Rendering - View Down Sunnyside  
1/4" = 1'-0"



**1** Rendering - Broadway at Sunnyside  
1/4" = 1'-0"

10 SUNNYSIDE  
AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

PROJECT

Housing Corporation of  
Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 F 000 000.0000

OWNER

**utile**  
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617.423.7200 F 617.423.1414  
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6698

CIVIL

BF&A

17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

M/E/P/FP

STAMP

DATE	ISSUE / REVISION
------	------------------

03/09/2023 COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER  
1/4" = 1'-0" 2244

BUILDING RENDERINGS

**G0.03**

The logo consists of the letters "CHAC" in a bold, black, sans-serif font. The "C" and "A" are particularly large and stylized, with a thick horizontal stroke connecting them. Below the logo, the address "141 Longwater Drive - Suite 104" and "Norwell, MA 02061" is printed in a smaller, standard black font. At the bottom, the phone number "81.982.5400" and website "www.chacompanies.com" are listed.

PREPARED FOR:  
HOUSING  
CORPORATION OF  
ARLINGTON  
  
252  
MASSACHUSETTS  
AVENUE  
  
ARLINGTON, MA  
02474

ALATION OF LAW FOR ANY PERSON, UNLESS THEY ARE  
UNDER THE DIRECTION OF A LICENSED PROFESSIONAL  
ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND  
SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE  
NAME OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING  
ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND  
SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE  
WORD "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE  
DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION  
OF THE ALTERATION.

---

**PROJECT TITLE:**

**TA/NSPS LAND TITLE  
SURVEY**

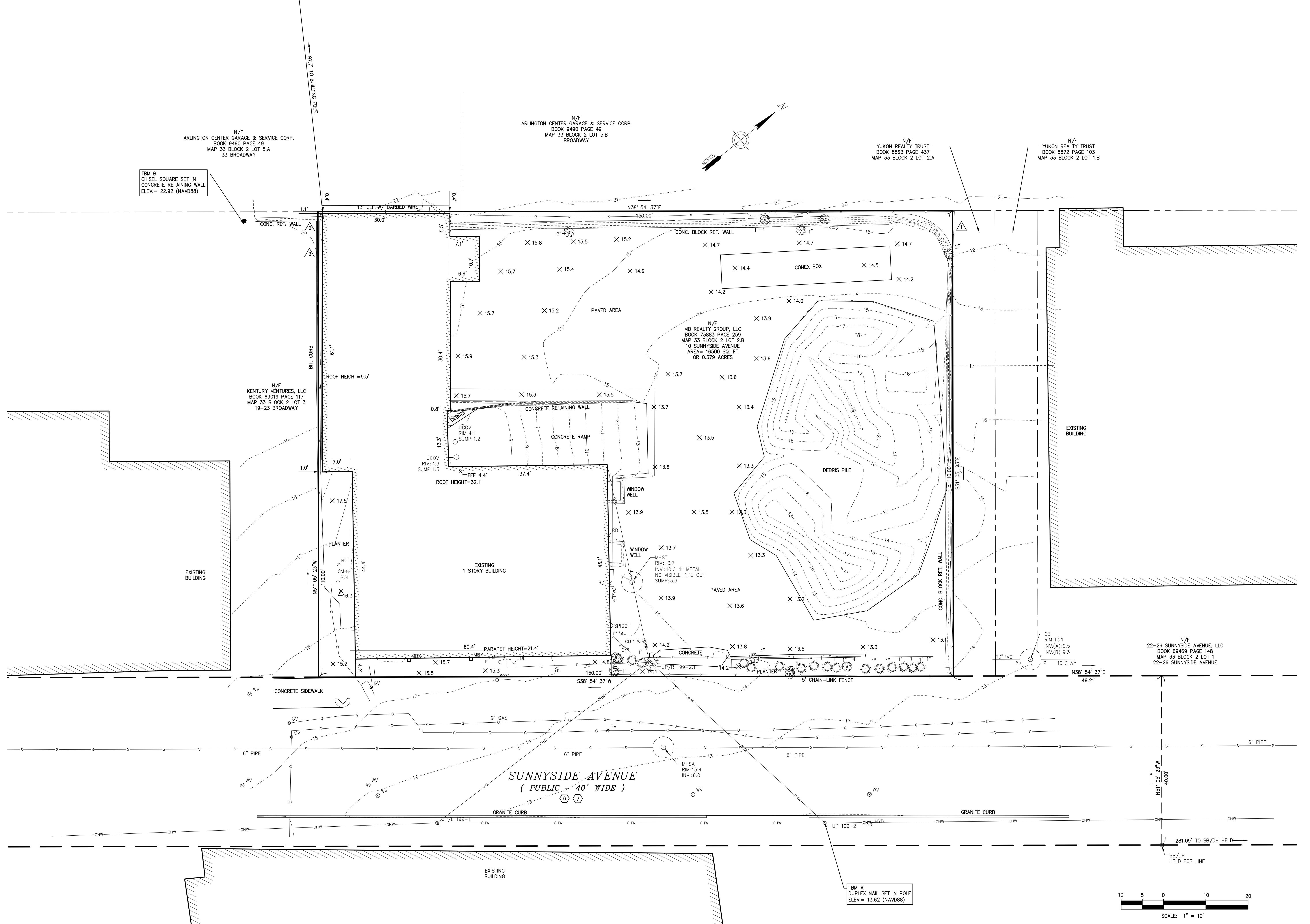
**SUNNYSIDE AVENUE**

**ARLINGTON, MA**

Submittal / Revision	App'd.	By	Date
Issued For Review	WJD	MWC	09/09/2022
Attorney Comments	WJD	MWC	09/27/2022
Issued as Final	WJD	MWC	10/14/2022
Add Structures on Abutters Parcels	WJD	MWC	10/28/2022

Drawn By:	Drawn By: MWC	Checked By: CDE
Date: 2022	Project No: 078306	Scale: 1" = 10'

SHEET 1 OF 2



**GENERAL NOTES:**

1. THE EXISTING CONDITIONS INFORMATION SHOWN HEREON IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY CHA CONSULTING, INC. IN AUGUST OF 2022.

2. ALL DEED REFERENCES ARE TO SOUTH MIDDLESEX COUNTY REGISTRY OF DEEDS UNLESS OTHERWISE NOTED.

3. LOCUS OWNER OF RECORD:

MB REALTY GROUP, LLC  
 DEED BOOK 73863 PAGE 259  
 MAP 33 BLOCK 2 LOT 2.B

4. TOPOGRAPHY, CONTOURS AND BENCHMARKS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). TEMPORARY BENCHMARKS, REFERENCED TO THE DATUM ARE INDICATED ON THE SURVEY.

IN THE EVENT THAT BENCHMARKS (TBM'S), ESTABLISHED FOR THIS PROJECT AND PUBLISHED ON THIS SURVEY ARE DESTROYED, NOT RECOVERABLE OR A DISCREPANCY IS FOUND, THE USER SHOULD NOTIFY THIS FIRM IN WRITING PRIOR TO COMMENCING OR CONTINUING ANY WORK.

5. THE PROJECT AREA IS LOCATED IN FLOOD ZONE "X" AREAS OF MINIMAL FLOODING AS SHOWN ON FLOOD INSURANCE RATE MAP FOR MIDDLESEX COUNTY, COMMUNITY PANEL NUMBER 25017C0417E, EFFECTIVE DATE JUNE 4, 2010.

6. THE LOCUS PARCEL IS LOCATED IN THE TOWN OF ARLINGTON B4 DISTRICT (VEHICULAR ORIENTED BUSINESS) AS DEFINED BY THE TOWN OF ARLINGTON ZONING MAP.

7. LOCATION OF SUBSURFACE UTILITIES SHOWN HEREON ARE APPROXIMATE AND ADDITIONAL UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN. LOCATIONS ARE COMPILED FROM UTILITY PLANS OF RECORD AND DIG-SAFE FIELD MARKINGS. RIM AND INVERT INFORMATION HAS BEEN COMPILED AND FIELD VERIFIED WHERE POSSIBLE. THIS INFORMATION IS NOT TO BE USED FOR CONSTRUCTION, PRIOR TO CONSTRUCTION, CONTACT DIG-SAFE (811) TO FIELD VERIFY LOCATION OF ALL UTILITIES.

8. PLAN REFERENCES:

PLAN #354 OF 1957  
 PLAN #415 OF 1947  
 PLAN #723 OF 1955  
 PLAN BOOK 3202 PAGE END

9. THE WORD "CERTIFY" IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE LAND SURVEYOR WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, FORMULATED IN ACCORDANCE WITH COMMONLY ACCEPTED PROCEDURES CONSISTENT WITH APPLICABLE STANDARDS OF PRACTICE. AND AS SUCH IT CERTIFIES NEITHER A WARRANTY NOR WARRANTY, EITHER EXPRESS OR IMPLIED. THE CERTIFICATIONS SHOWN ARE NOT CERTIFICATIONS TO THE TITLE OR OWNERSHIP OF THE PROPERTIES SHOWN.

10. NO TREES OF 8" OR GREATER CALIPER WERE FOUND ON THE SITE.

**SURVEY CERTIFICATION:**

FIDELITY NATIONAL TITLE INSURANCE COMPANY OFFICE NUMBER T99957A; DATED AUGUST 10, 2022.

THIS SURVEY IS MADE FOR THE BENEFIT OF:

MB REALTY GROUP, LLC TOGETHER WITH THEIR SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, FIDELITY NATIONAL TITLE INSURANCE COMPANY TOGETHER WITH THEIR SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, HOUSING CORPORATION OF ARLINGTON TOGETHER WITH THEIR SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, MASSDOCS LANDERS TOGETHER WITH THEIR SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, LIFE INSURANCE COMMUNITY INVESTMENT INITIATIVE, LLC TOGETHER WITH THEIR SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 8, 9, 11(g), 13, 17 & 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED IN AUGUST OF 2022.

THERE IS NO EVIDENCE OF CEMETERIES.

THE LEGAL DESCRIPTION FORMS A MATHEMATICALLY CLOSED FIGURE WITHOUT GAPS, GORES OR OVERLAPS.

THE PROPERTY HAVE DIRECT ACCESS TO SUNNYSIDE AVENUE, BEING A DEDICATED PUBLIC STREET.

THERE IS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

THERE IS NO EVIDENCE OF USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

THE PREMISES SHOWN ON THE SURVEY IS THE SAME PROPERTY DESCRIBED IN EXHIBIT A OF THE TITLE COMMITMENT.

WILLIAM J. DORGAN, PROFESSIONAL LAND SURVEYOR NO. 49622  
 DATE:

FIDELITY NATIONAL TITLE INSURANCE COMPANY,  
 OFFICE NUMBER: T99957A  
 SCHEDULE B PART 2  
 EFFECTIVE DATE: AUGUST 10, 2022

1. RIGHTS OR CLAIMS OF PERSONS IN POSSESSION. (NOT SURVEY RELATED)

2. EASEMENTS OR CLAIMS OF EASEMENTS NOT SHOWN BY THE PUBLIC RECORDS, BOUNDARY-LINE DISPUTES, OVERLAPS, ENCROACHMENTS, TITLE TO FILLED LANDS (IF ANY) AND ANY MATTERS NOT OF RECORD WHICH WOULD BE DISCLOSED BY AN ACCURATE SURVEY AND INSPECTION OF THE PREMISES. (SEE THIS SURVEY WITH RESPECT TO ENCROACHMENTS)

3. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL, HERETOFORE OR HERAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS. (NOT SURVEY RELATED)

4. ANY DEFECT, LIEN, ENCUMBRANCES, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I-REQUIREMENTS ARE MET. (NOT SURVEY RELATED)

5. LIENS FOR TAXES AND MUNICIPAL CHARGES WHICH BECOME DUE AND PAYABLE SUBSEQUENT TO THE DATE OF SAID POLICY. (NOT SURVEY RELATED)

6. TAKING BY THE TOWN OF ARLINGTON FOR CONSTRUCTING, MAINTAINING AND OPERATING WATER WORKS, DATED AUGUST 5, 1946, RECORDED WITH SAID DEEDS, BOOK 7029, PAGE 223. SEE ALSO PLAN NO. 1177 OF 1946, RECORDED WITH SAID DEEDS, BOOK 7029, PAGE 223. (SEE THIS SURVEY)

7. ORDER OF TAKING BY THE TOWN OF ARLINGTON FOR THE LAYOUT OF SUNNYSIDE AVENUE, DATED APRIL 25, 1955, RECORDED WITH SAID DEEDS, BOOK 8456, PAGE 138. SEE ALSO PLAN NO. 723 OF 1955, RECORDED WITH SAID DEEDS, BOOK 8456, PAGE 138. (SEE THIS SURVEY)

8. DECISION BY THE TOWN OF ARLINGTON ZONING BOARD OF APPEALS, RECORDED WITH SAID DEEDS, BOOK 78503, PAGE 1. (NOT SURVEY RELATED)

**PREPARED FOR:**

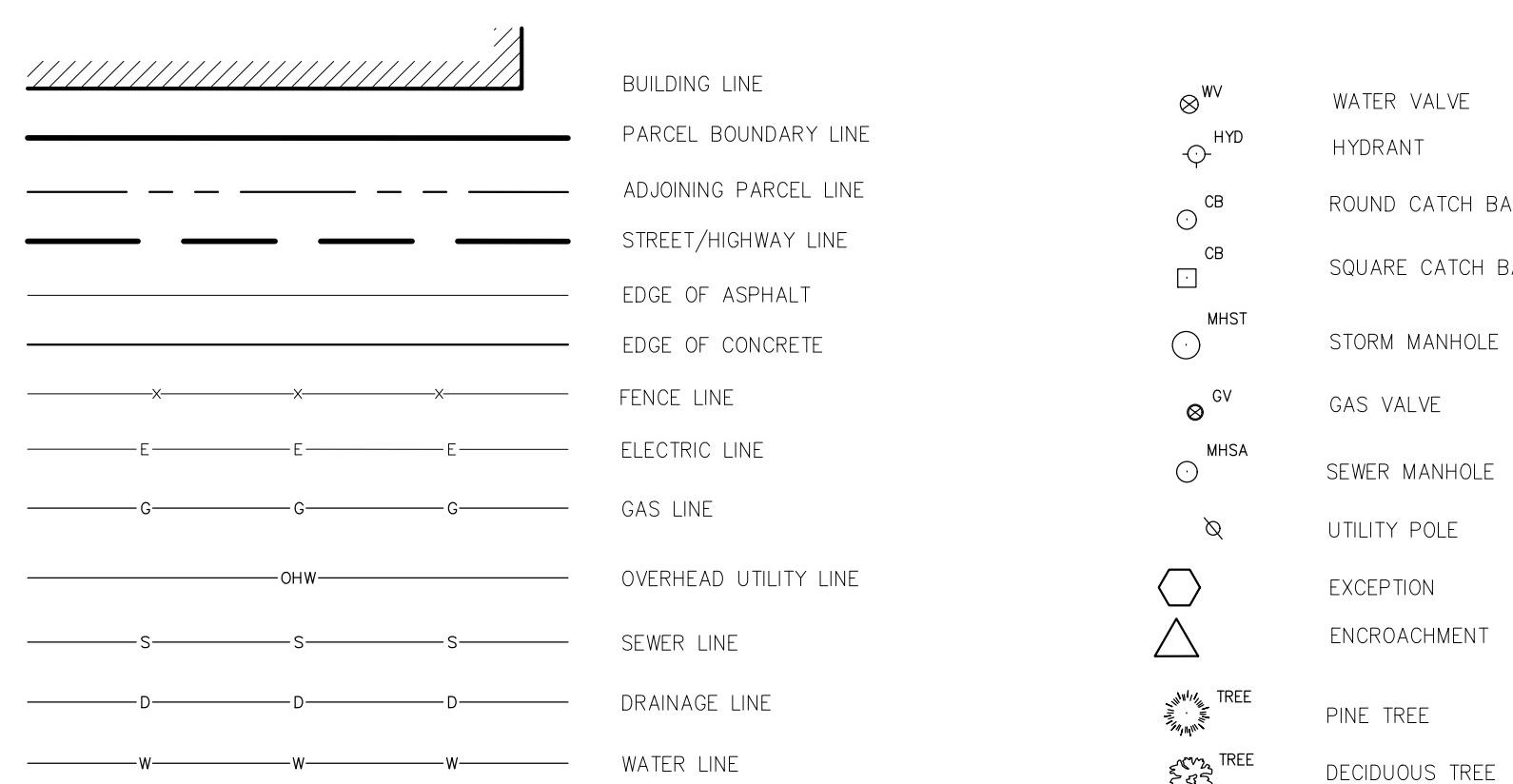
HOUSING  
 CORPORATION OF  
 ARLINGTON

252  
 MASSACHUSETTS  
 AVENUE  
 ARLINGTON, MA  
 02474

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE SIGNATURE OF A LICENSED PROFESSIONAL LAND SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR IS ALTERED. THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

**PROJECT TITLE:**  
 ALTA/NSPS LAND TITLE  
 SURVEY  
 10 SUNNYSIDE AVENUE  
 ARLINGTON, MA

**LEGEND:**



**POTENTIAL ENCROACHMENTS:** △

- △ CHAIN-LINK FENCE CROSSES OVER PROPERTY LINE 0' TO 0.4'.
- △ RETAINING WALL CROSSES OVER PROPERTY LINE 0.8'.
- △ BIT. CURB CROSSES OVER PROPERTY LINE 0' TO 0.4'.

No.	Submittal / Revision	App'd.	By	Date
0	Issued For Review	WJD	MWC	09/09/2022
1	Attorney Comments	WJD	MWC	09/27/2022
2	Issued as Final	WJD	MWC	10/14/2022
3	Add Structures on Abutters Parcels	WJD	MWC	10/28/2022

Designed By:	Drawn By:	Checked By:
--	MWC	CDE
Issue Date: 9/09/2022	Project No: 078306	Scale: 1" = 10'

Drawing No.:  
 SHEET 2 OF 2

**DEMOLITION LEGEND:**

- BUILDING TO BE REMOVED
- BITUMINOUS CONCRETE TO BE REMOVED/PULVERIZED
- DEBRIS TO BE CLEARED
- CEMENT CONCRETE TO BE REMOVED
- AREA OF LOAM REMOVAL
- FENCE REMOVAL
- WALL TO BE REMOVED
- UTILITIES LINE TO BE REMOVED
- LIMIT OF WORK
- EROSION CONTROL
- UTILITIES STRUCTURE TO BE REMOVED
- UTILITIES STRUCTURE TO BE ABANDONED IN PLACE

10 SUNNYSIDE  
AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

PROJECT

Housing Corporation of  
Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 O 000.000.000

OWNER

**utile**  
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617.423.200 F 617.423.1414  
utilidesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6688

CIVIL

**BF&A**

17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301

CODE

**BLW ENGINEERS**

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

M/E/P/FF

STAMP

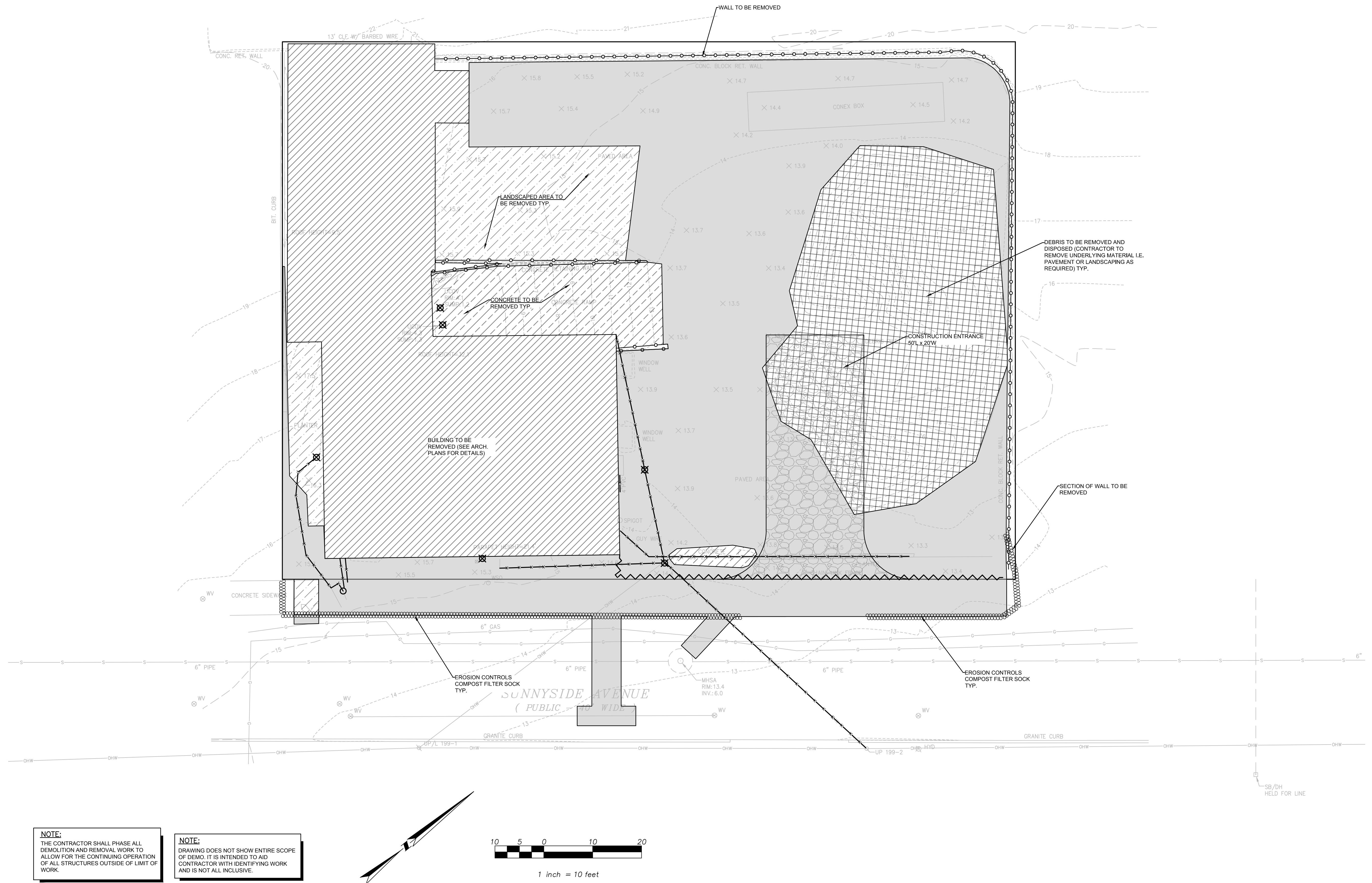
DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER  
1" = 10' Arlington, MA

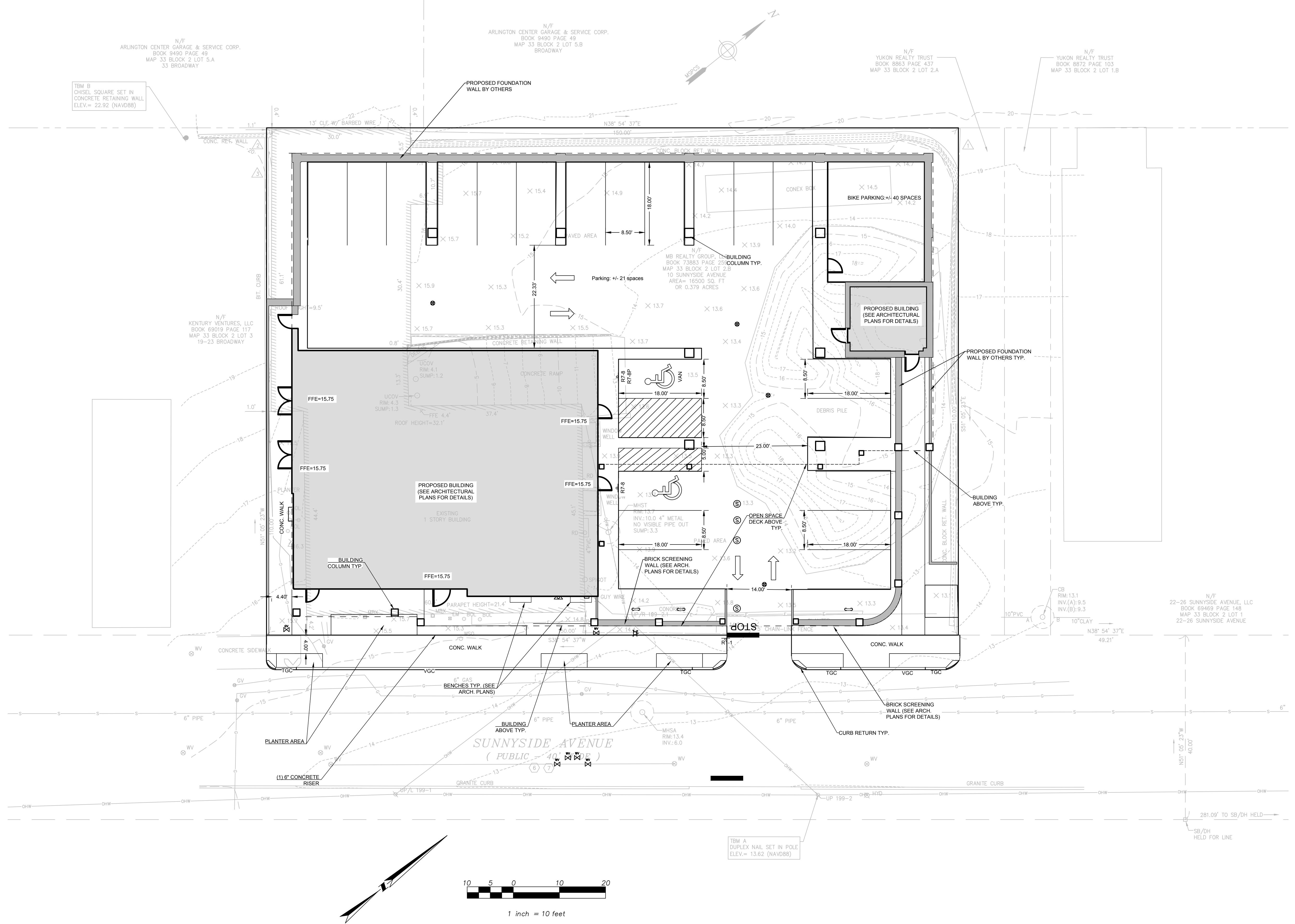
**SITE PREPARATION  
AND EROSION  
CONTROL PLAN**

**C1.00**



**LEGEND:**

- FGC PROPOSED FLUSH GRANITE CURB
- VGC PROPOSED VERTICAL GRANITE CURB
- LIMIT OF WORK
- PROPOSED SIGN
- OVERHEAD BUILDING LOCATION



10 SUNNYSIDE  
AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

PROJECT

Housing Corporation of  
Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 000 000.000

OWNER

**utile**  
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617.423.7200 F 617.423.1414  
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6588

CIVIL

BF&A  
17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301

CODE

BLW ENGINEERS  
311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

M/E/P/FP

STAMP

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE  
1" = 10'  
UTILE PROJECT NUMBER  
Arlington, MA

SITE LAYOUT  
PLAN

**C2.00**

1418202214214342

# 10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

## JECT

# Housing Corporation of Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 F 000 000.0000

0W

# **utile**

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617 423.7200 F 617 423.1414  
[utilizedesign.com](http://utilizedesign.com)

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6688

---

**BF&A**

P 978.870.4301

---

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

STAMP

<u>DATE</u>	<u>ISSUE / REVISION</u>
09/2023	COMPREHENSIVE PERMIT

---

CALE UTILE PROJECT NUMBER  
" = 10' Arlington, MA

# SITE UTILITY PLAN

**C3.00**

11/8/2022 1:21:43 PM

10 SUNNYSIDE  
AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

## OBJECT

# Housing Corporation of Arlington

1

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 F 781.859.5295

OWNERS

# utile

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617 423.7200 F 617 423.1414  
[utiledesign.com](http://utiledesign.com)

110

# SAMIOTES CONSULTANTS INC.

1

BF&A

1

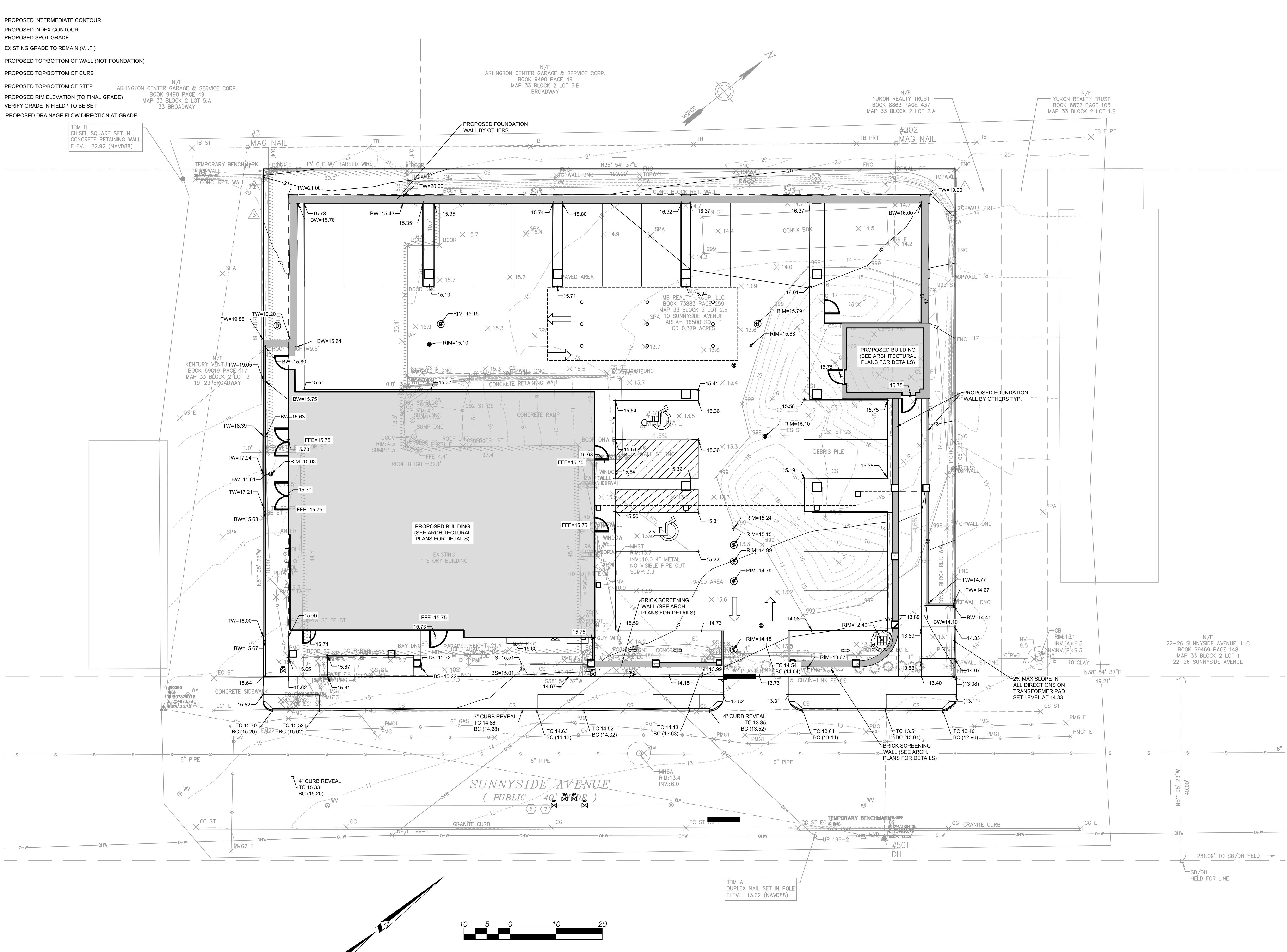
LANCASTER, MA 01523  
P 978.870.4301

---

1

JT GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

EN 11



SCALE UTILE PROJECT NUMBER  
1" = 10' Arlington, MA

# GRADING PLAN

**C4.00**

## LEGEND:

- D PROPOSED STORM DRAINAGE LINE
- RD PROPOSED ROAD DRAIN LINE (SEE MEP PLANS FOR DETAILS)
- FD PROPOSED FOUNDATION DRAIN LINE
- DMH PROPOSED STORM DRAINAGE MANHOLE
- CB PROPOSED CATCH BASIN
- DW PROPOSED DRYWELL W/ GRATE
- PROPOSED DRAINAGE FLOW DIRECTION AT GRADE
- ◆ PROPOSED AREA DRAIN

N/F  
ARLINGTON CENTER GARAGE & SERVICE CORP.  
BOOK 9490 PAGE 49  
MAP 33 BLOCK 2 LOT 5.A  
33 BROADWAY

N/F  
ARLINGTON CENTER GARAGE & SERVICE CORP.  
BOOK 9490 PAGE 49  
MAP 33 BLOCK 2 LOT 5.B  
BROADWAY

N/F  
YUKON REALTY TRUST  
BOOK 8863 PAGE 437  
MAP 33 BLOCK 2 LOT 2.A

N/F  
YUKON REALTY TRUST  
BOOK 8872 PAGE 103  
MAP 33 BLOCK 2 LOT 1.B

10 SUNNYSIDE  
AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

PROJECT

Housing Corporation of  
Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 000.000.000

OWNER

**utile**

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617.423.200 F 617.423.1414  
utilidesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6688

CIVIL

BF&A

17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

M/E/P/FF

STAMP

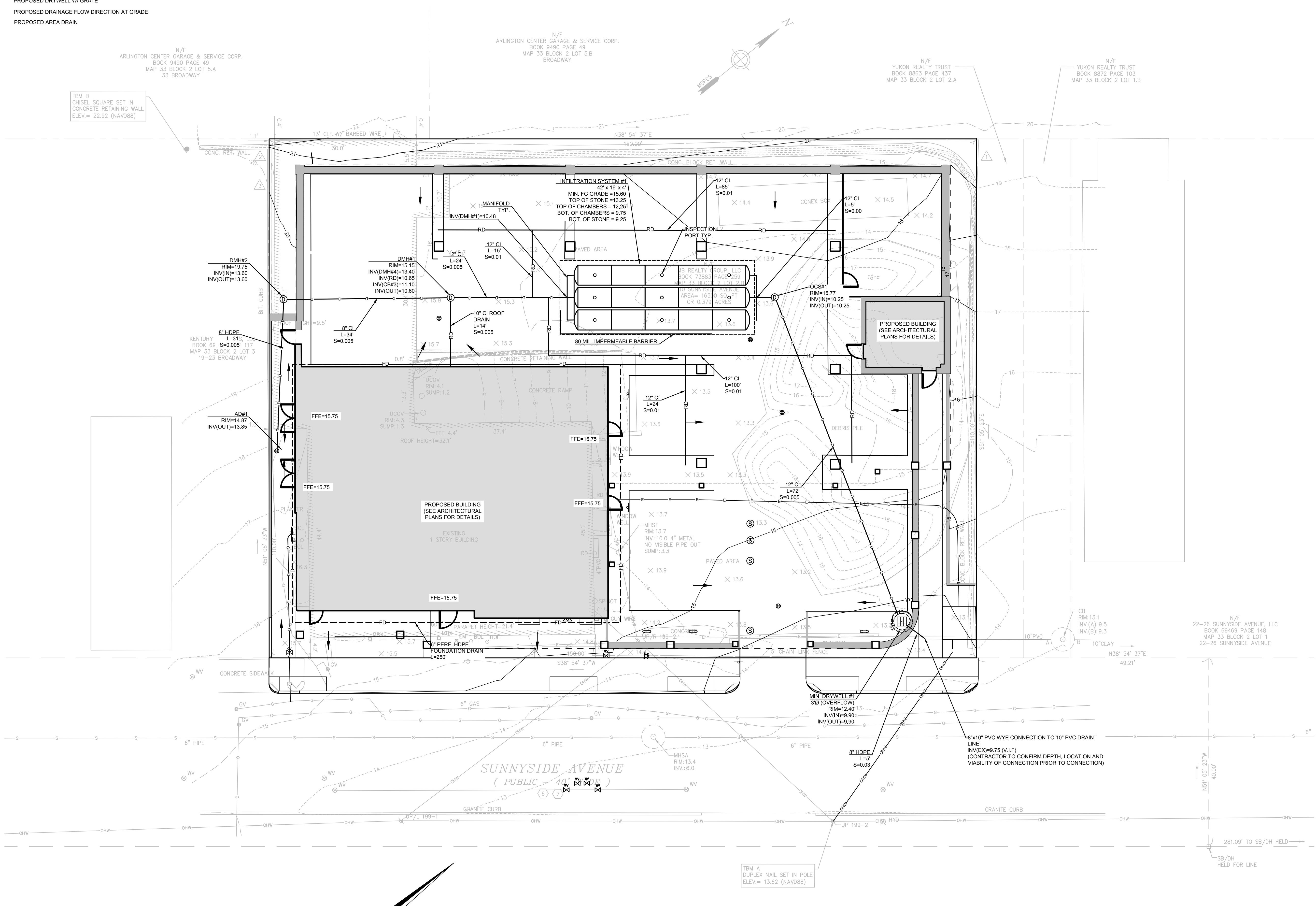
DATE ISSUE / REVISION  
03/09/2023 COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER  
1" = 10' Arlington, MA

STORMWATER  
MANAGEMENT  
PLAN

**C5.00**



1 inch = 10 feet





10 SUNNYSIDE  
AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

PROJECT

Housing Corporation of  
Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 O 000.000.000

OWNER

**utile**

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST.  
BOSTON, MA 02111  
P 617.423.200 F 617.423.1414  
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6688

CIVIL

BF&A

17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

M/E/P/FF

STAMP

DATE ISSUE / REVISION  
03/09/2023 COMPREHENSIVE PERMIT

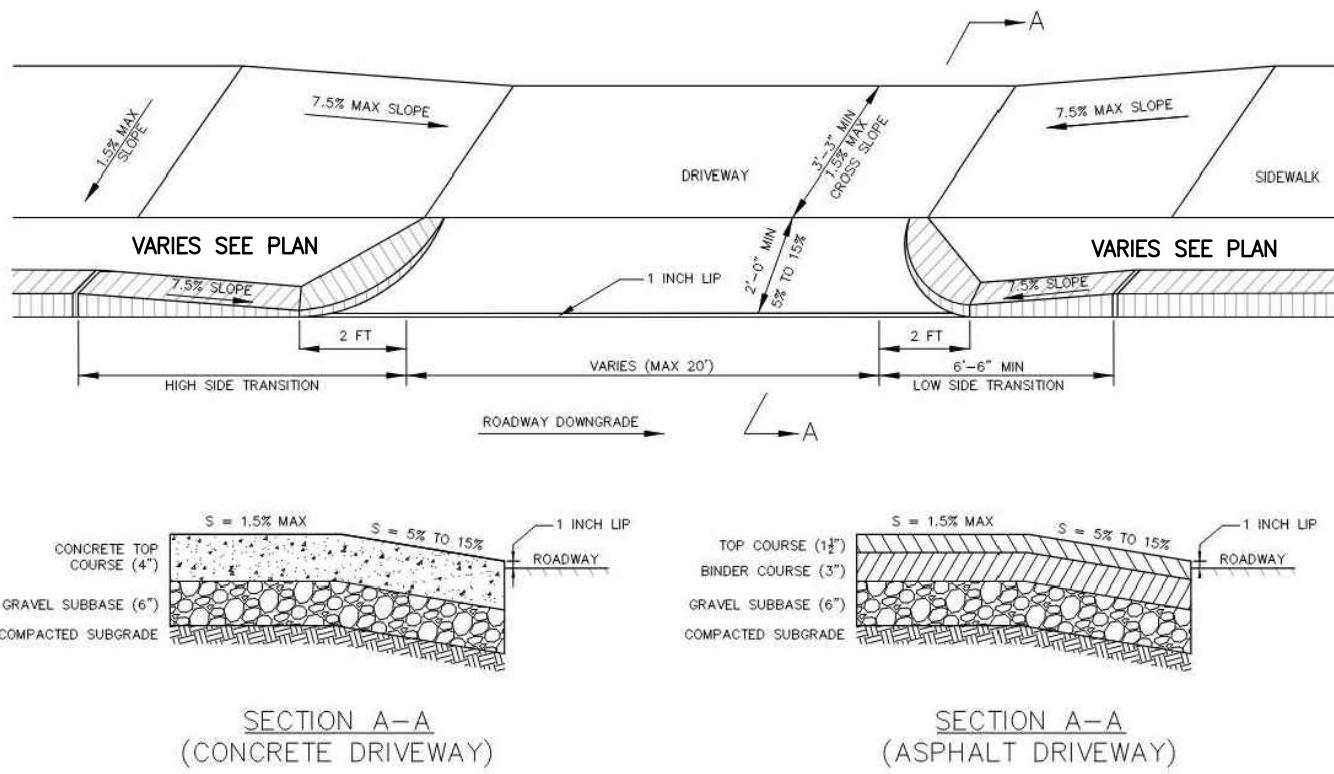
REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER  
1" = 10' Arlington, MA

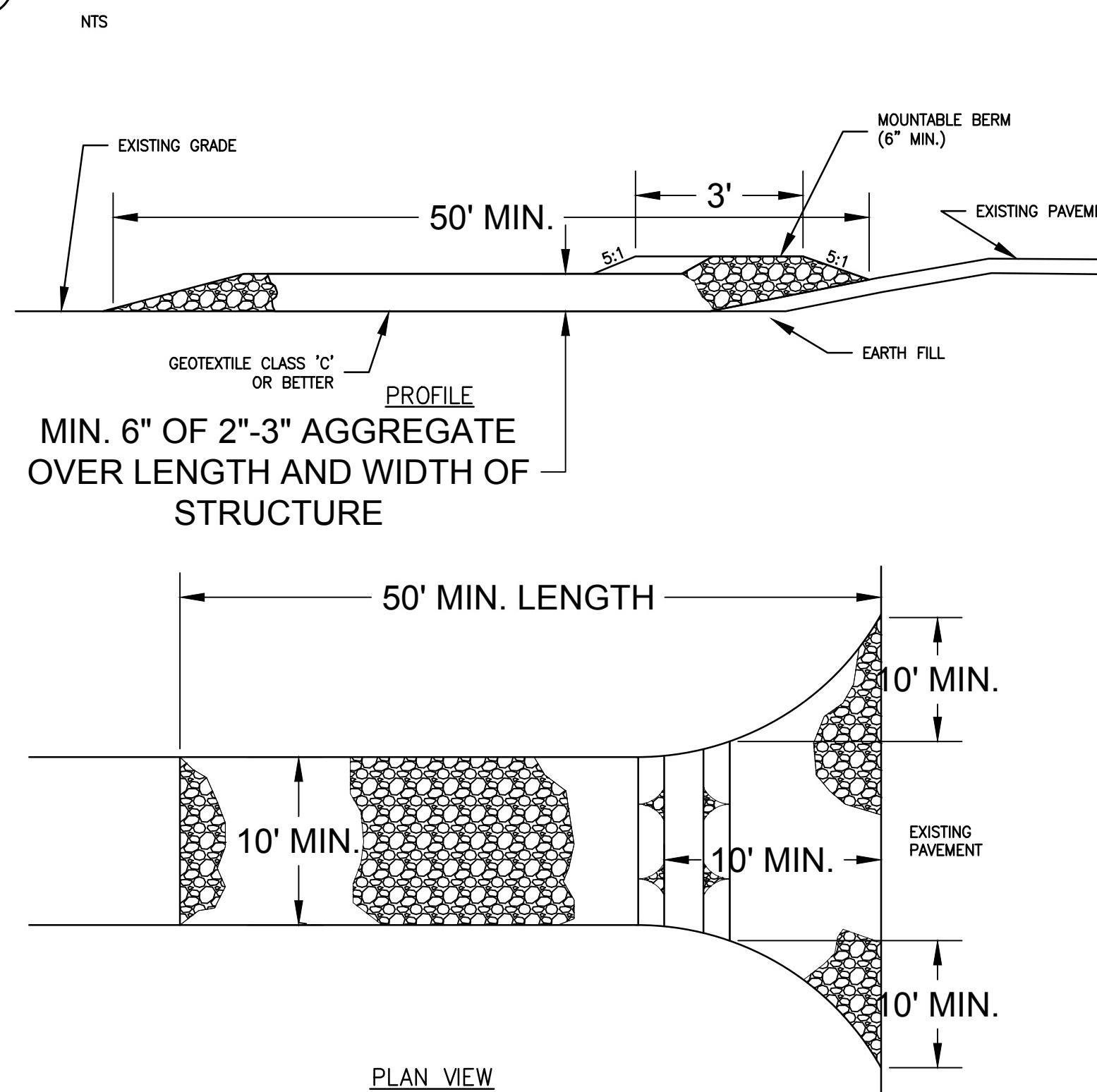
CIVIL DETAILS

**C6.02**

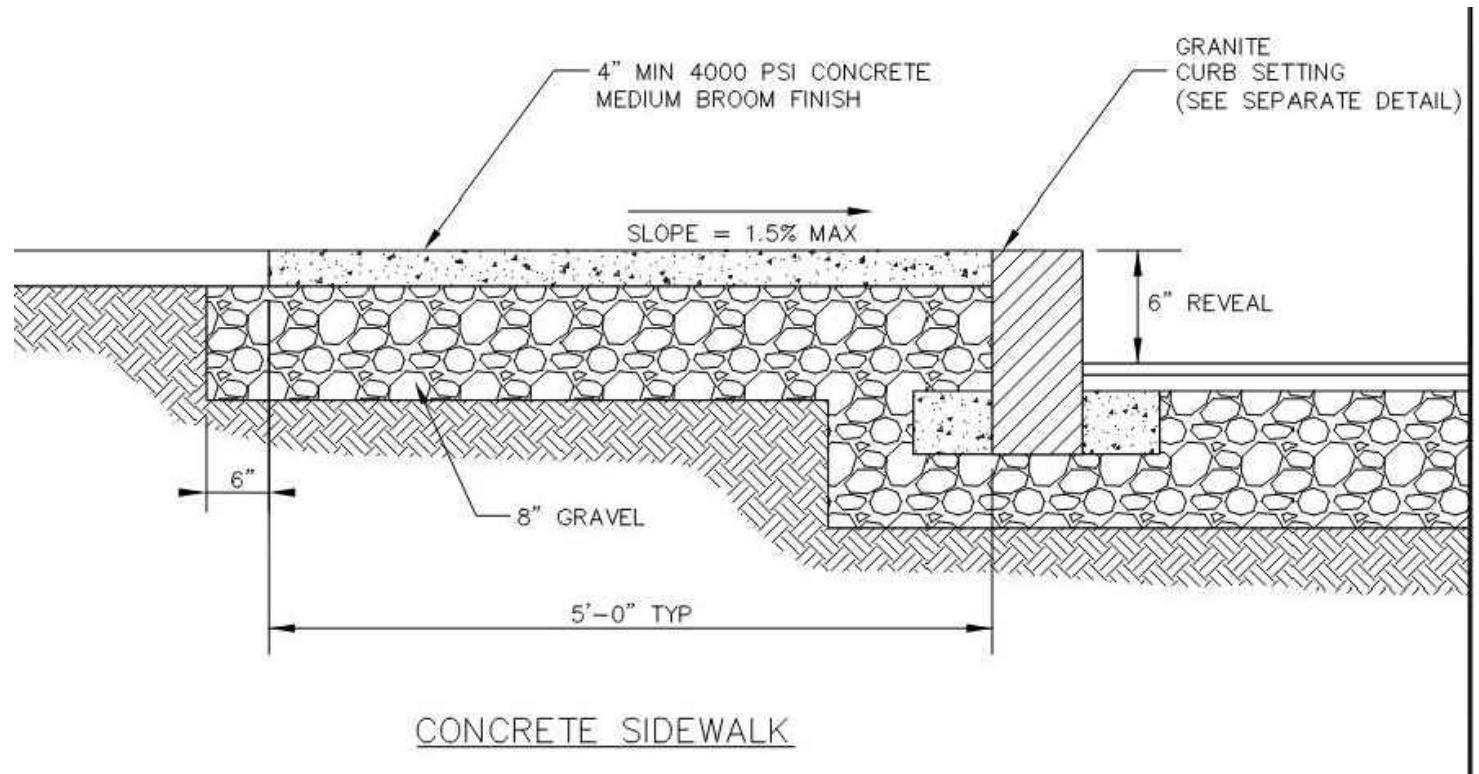
141820221421432144



1 DRIVEWAY APRON (TOWN OF ARLINGTON STANDARD)

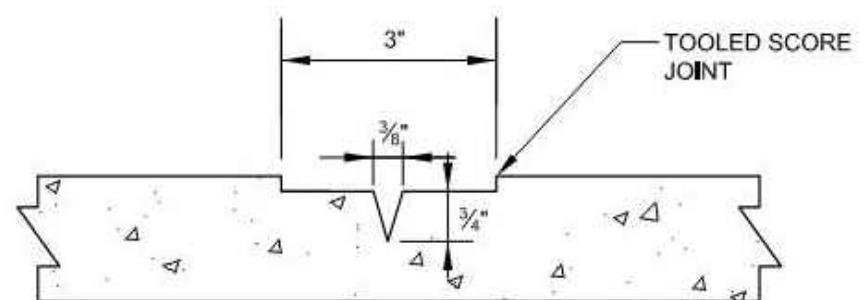


3 STABILIZED CONSTRUCTION ENTRANCE

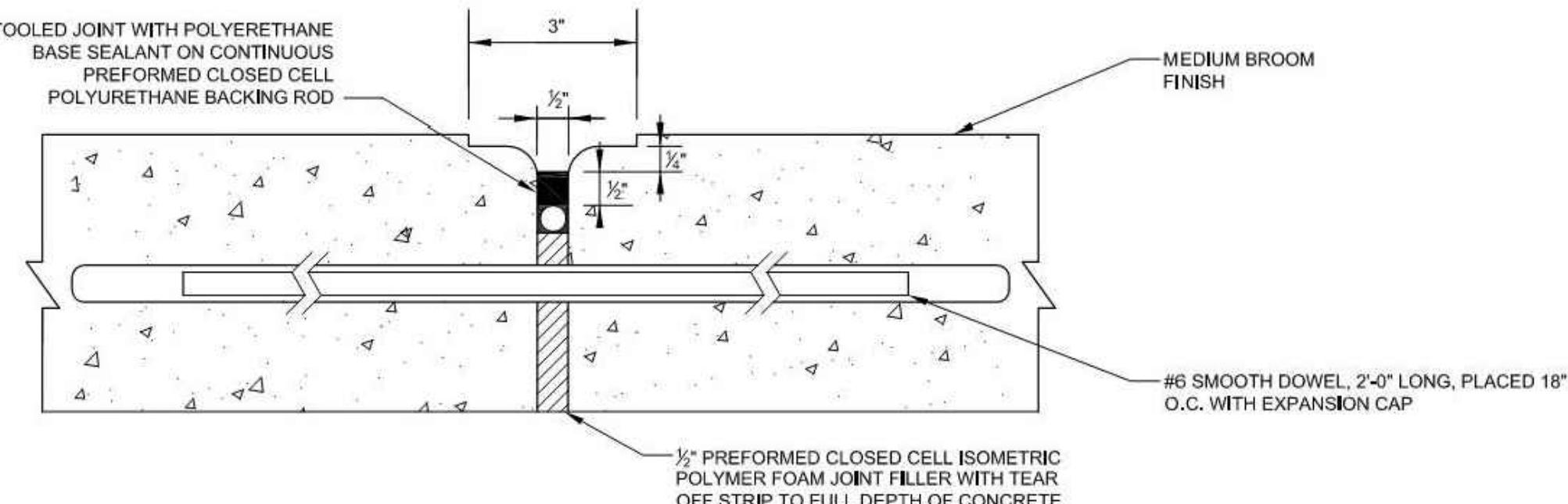


2 CONCRETE SIDEWALK

NTS



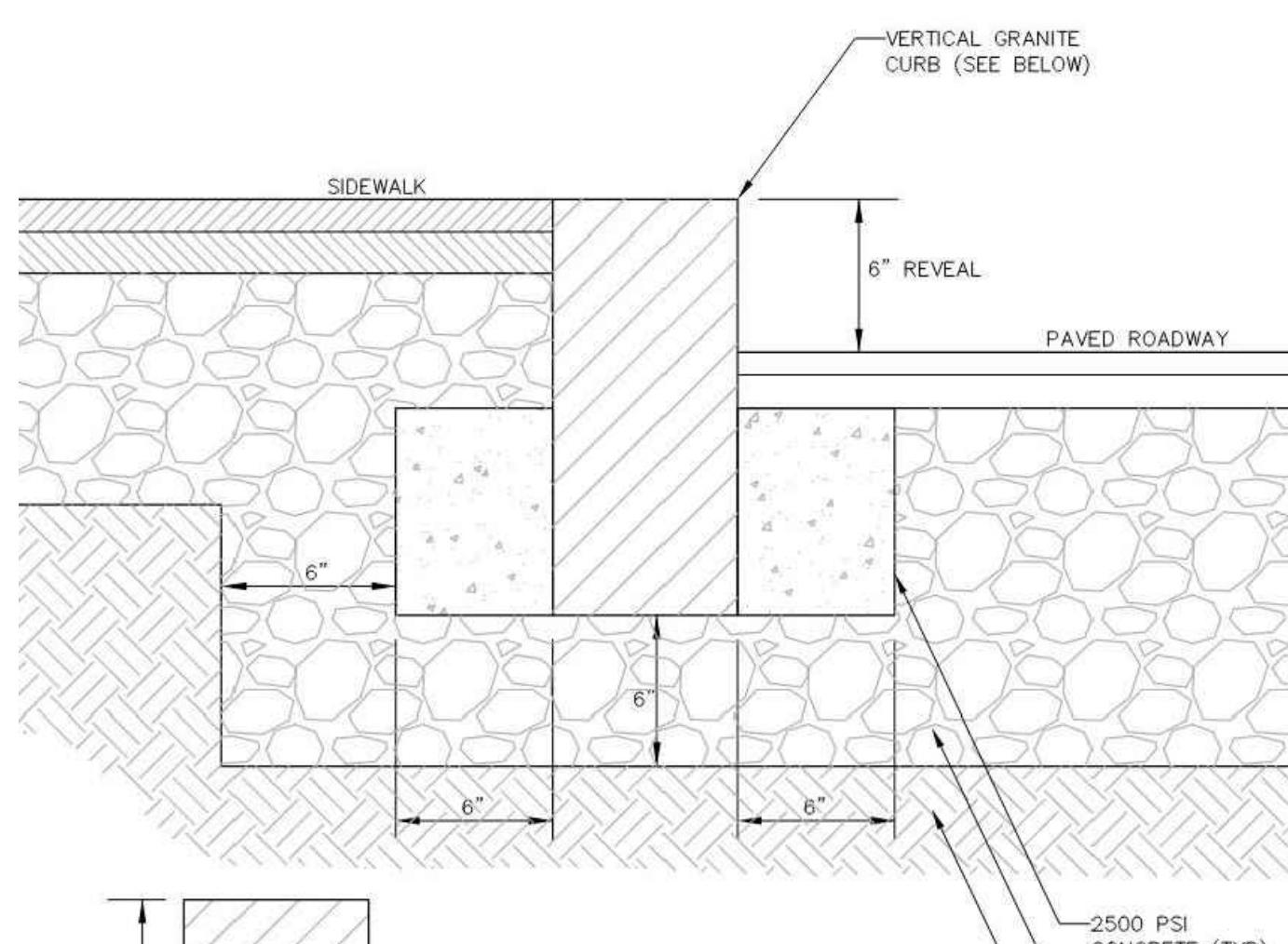
CONTROL JOINT



EXPANSION JOINT

4 CONCRETE SIDEWALK JOINTS

NTS



5 VERTICAL GRANITE CURB

NTS

10 SUNNYSIDE  
AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

PROJECT

Housing Corporation of  
Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 F 000 000.000

OWNER

**utile**  
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617.423.7200 F 617.423.1414  
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6698

CIVIL

BF&A

17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

M/E/P/FP

STAMP

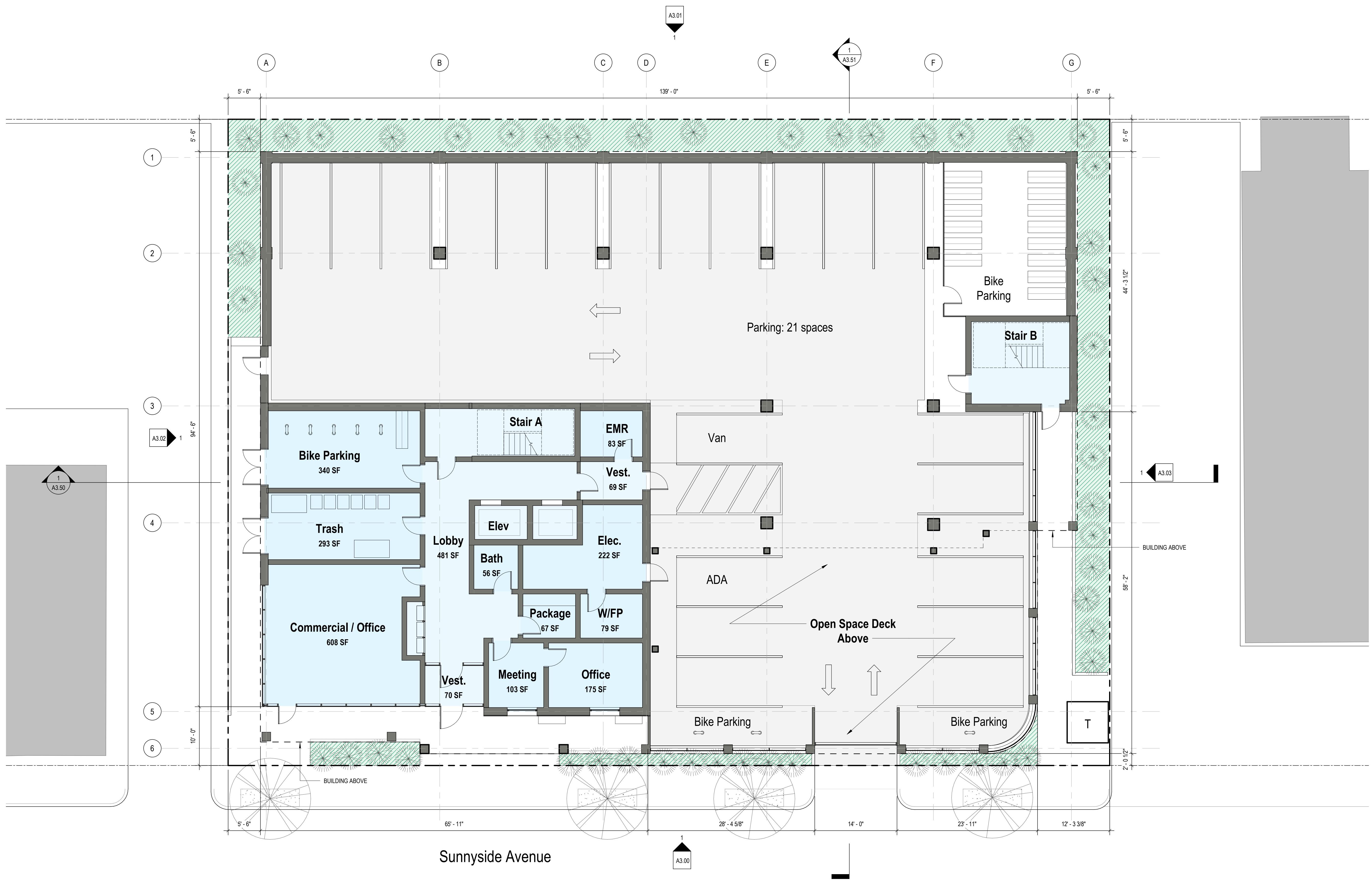
DATE ISSUE / REVISION  
03/09/2023 COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER  
1/8" = 1'-0" 2244

FLOOR PLAN - FIRST FLOOR

A1.01





# 10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

## **JECT**

---

## Housing Corporation of Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 F 000 000.0000

# utile

ARCHITECTURE + URBAN DESIGN

15 KINGSTON ST  
BOSTON, MA 02111  
• 617 423.7200 F 617 423.1414  
[utiledesign.com](http://utiledesign.com)

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6688

---

**BF&A**  
17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301      CODE

811 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
• 978.486.4301



CALE UTILE PROJECT NUMBER  
1/8" = 1'-0" 2244

## FLOOR PLAN - THIRD & FOURTH FLOORS

# A1.03



10 SUNNYSIDE  
AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

PROJECT

Housing Corporation of  
Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 F 000 000.000

OWNER

**utile**  
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617.423.7200 F 617.423.1414  
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6698

CIVIL

BF&A

17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

M/E/P/FP

STAMP

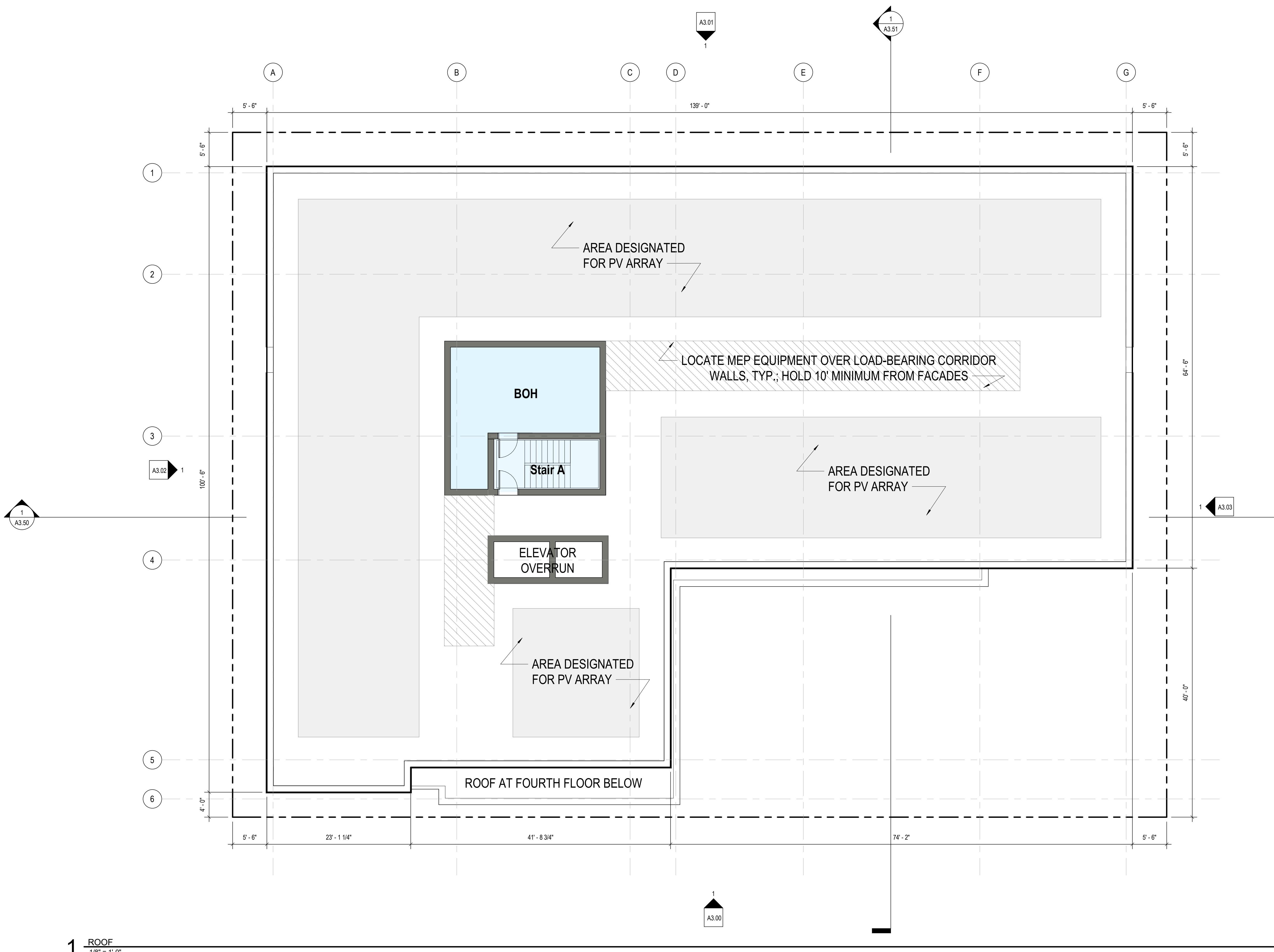
DATE ISSUE / REVISION  
03/09/2023 COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER  
1/8" = 1'-0" 2244

FLOOR PLAN - ROOF

A1.07



10 SUNNYSIDE  
AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

PROJECT

Housing Corporation of  
Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 F 000.000.0000

OWNER

ELEVATION NOTES

- ① 4" PTD. FIBER CEMENT PLANK SIDING, VERTICAL
- ② 6" PTD. FIBER CEMENT PLANK SIDING, HORIZONTAL
- ③ PTD. FIBER CEMENT PANEL
- ④A BRICK RUNNING BOND
- ④B METAL SCREEN
- ④C BRICK TEXTURED PATTERN
- ⑤ OVERHEAD COILING DOOR TO MATCH ADJACENT METAL SCREEN
- ⑥ METAL SCREEN RAILING
- ⑦ CONCRETE RETAINING WALL

- (A) HIGH PERFORMANCE TRIPLE GLAZED UPVC WINDOWS
- (B) THERMALLY BROKEN ALUMINUM FRAME STOREFRONT SYSTEM
- (C) EXTERIOR HOLLOW METAL SERVICE DOOR

**utile**

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617.423.2200 F 617.423.1414  
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6698

CIVIL

BF&A

17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

M/E/P/FP

STAMP

DATE ISSUE / REVISION  
03/09/2023 COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER  
1/8" = 1'-0" 2244

EXTERIOR ELEVATION - EAST  
(SUNNYSIDE AVE)

A3.00



1 EAST ELEVATION (SUNNYSIDE AVE)  
1/8" = 1'-0"

10 SUNNYSIDE  
AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

PROJECT

Housing Corporation of  
Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 F 000.000.0000

OWNER

ELEVATION NOTES

- ① 4" PTD. FIBER CEMENT PLANK SIDING, VERTICAL
- ② 6" PTD. FIBER CEMENT PLANK SIDING, HORIZONTAL
- ③ PTD. FIBER CEMENT PANEL
- ④A BRICK RUNNING BOND
- ④B METAL SCREEN
- ④C BRICK TEXTURED PATTERN
- ⑤ OVERHEAD COILING DOOR TO MATCH ADJACENT METAL SCREEN
- ⑥ METAL SCREEN RAILING
- ⑦ CONCRETE RETAINING WALL

- (A) HIGH PERFORMANCE TRIPLE GLAZED UPVC WINDOWS
- (B) THERMALLY BROKEN ALUMINUM FRAME STOREFRONT SYSTEM
- (C) EXTERIOR HOLLOW METAL SERVICE DOOR

**utile**

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617.423.7200 F 617.423.1414  
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6698

CIVIL

BF&A

17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

M/E/P/FP

STAMP

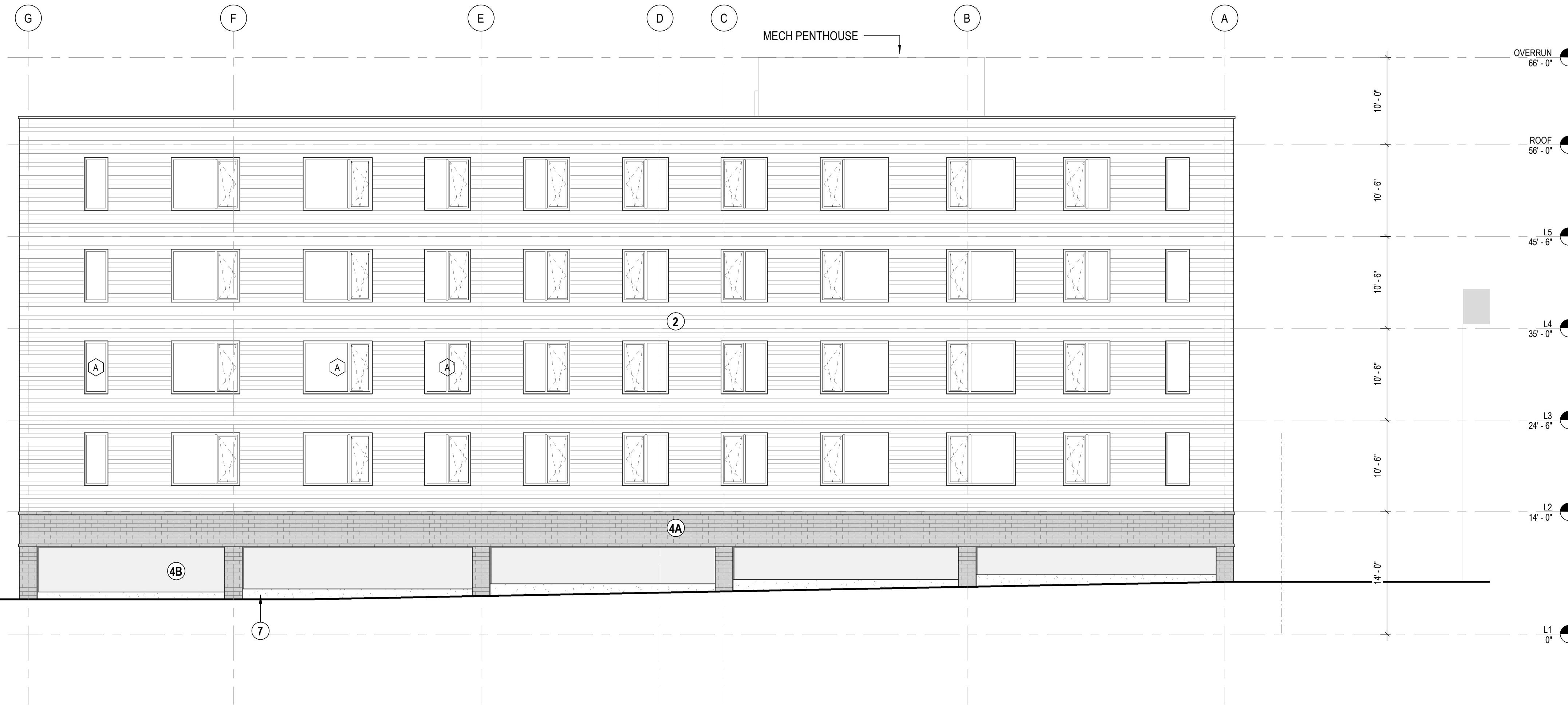
DATE ISSUE / REVISION  
03/09/2023 COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER  
1/8" = 1'-0" 2244

EXTERIOR ELEVATION - WEST  
(REAR)

A3.01



10 SUNNYSIDE  
AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

PROJECT

Housing Corporation of  
Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 F 000.000.0000

OWNER

ELEVATION NOTES

- ① 4" PTD. FIBER CEMENT PLANK SIDING, VERTICAL
- ② 6" PTD. FIBER CEMENT PLANK SIDING, HORIZONTAL
- ③ PTD. FIBER CEMENT PANEL
- ④A BRICK RUNNING BOND
- ④B METAL SCREEN
- ④C BRICK TEXTURED PATTERN
- ⑤ OVERHEAD COILING DOOR TO MATCH ADJACENT METAL SCREEN
- ⑥ METAL SCREEN RAILING
- ⑦ CONCRETE RETAINING WALL

- (A) HIGH PERFORMANCE TRIPLE GLAZED UPVC WINDOWS
- (B) THERMALLY BROKEN ALUMINUM FRAME STOREFRONT SYSTEM
- (C) EXTERIOR HOLLOW METAL SERVICE DOOR

**utile**

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617.423.2200 F 617.423.1414  
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6698

CIVIL

BF&A

17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

M/E/P/FP

STAMP

DATE ISSUE / REVISION  
03/09/2023 COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER  
1/8" = 1'-0" 2244

EXTERIOR ELEVATION -  
SOUTH

A3.02



10 SUNNYSIDE  
AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

PROJECT

Housing Corporation of  
Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 F 000.000.0000

OWNER

ELEVATION NOTES

- ① 4" PTD. FIBER CEMENT PLANK SIDING, VERTICAL
- ② 6" PTD. FIBER CEMENT PLANK SIDING, HORIZONTAL
- ③ PTD. FIBER CEMENT PANEL
- ④A BRICK RUNNING BOND
- ④B METAL SCREEN
- ④C BRICK TEXTURED PATTERN
- ⑤ OVERHEAD COILING DOOR TO MATCH ADJACENT METAL SCREEN
- ⑥ METAL SCREEN RAILING
- ⑦ CONCRETE RETAINING WALL

- (A) HIGH PERFORMANCE TRIPLE GLAZED UPVC WINDOWS
- (B) THERMALLY BROKEN ALUMINUM FRAME STOREFRONT SYSTEM
- (C) EXTERIOR HOLLOW METAL SERVICE DOOR

**utile**

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617.423.2200 F 617.423.1414  
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6698

CIVIL

BF&A

17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

M/E/P/FP

STAMP

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER  
1/8" = 1'-0" 2244

EXTERIOR ELEVATION -  
NORTH

A3.03



**10 SUNNYSIDE  
AVE.**

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

PROJECT

Housing Corporation of  
Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 F 000.000.0000

OWNER

**utile**  
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617.423.7200 F 617.423.1414  
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6698

CIVIL

**BF&A**

17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301

CODE

**BLW ENGINEERS**

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

M/E/P/FP

STAMP

DATE ISSUE / REVISION  
03/09/2023 COMPREHENSIVE PERMIT

REVISIONS ON SHEET

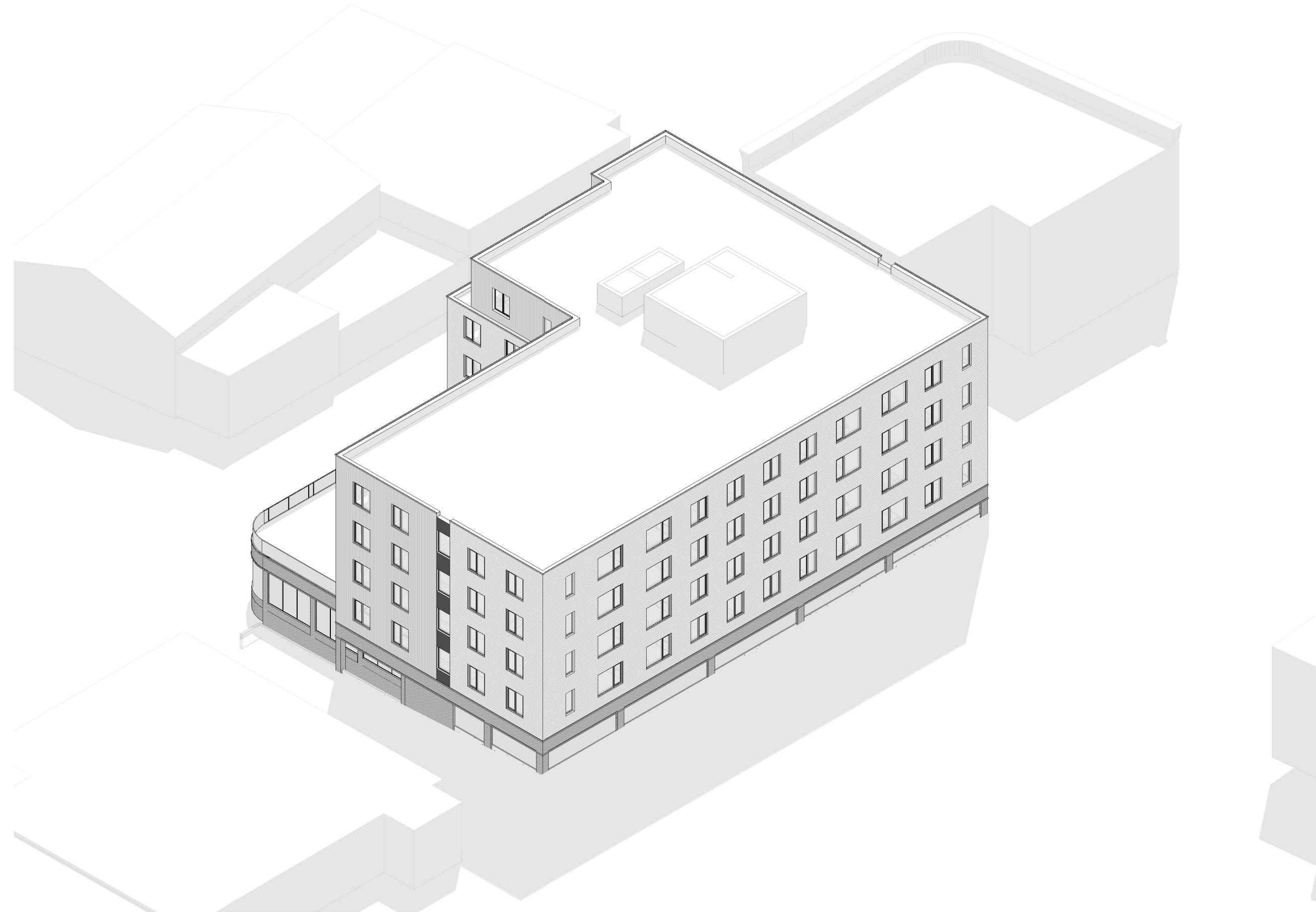
SCALE UTILE PROJECT NUMBER  
2244

BUILDING AXONS

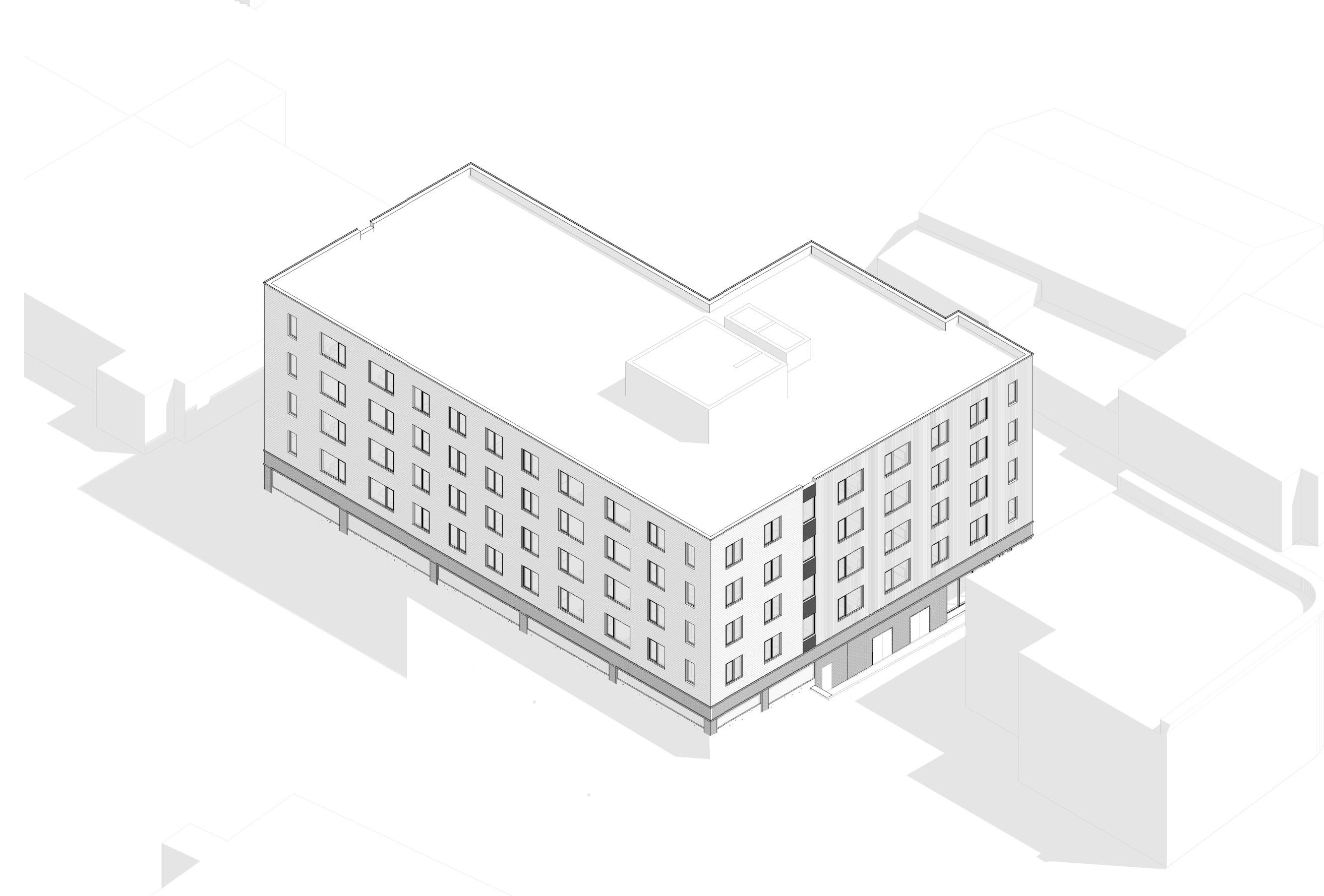
**A3.10**



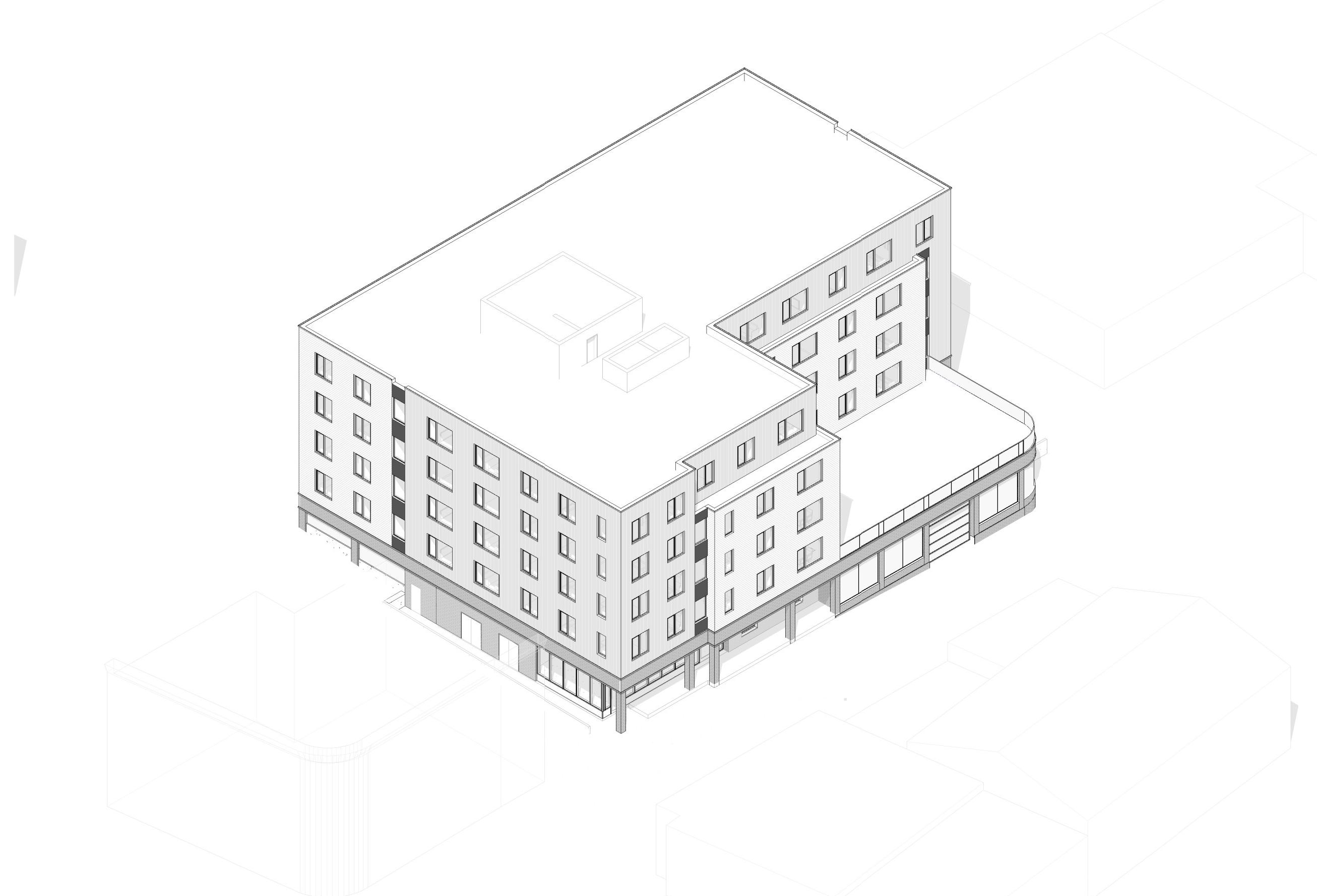
4 East Axon



3 North Axon



2 West Axon



1 South Axon

10 SUNNYSIDE  
AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

PROJECT

Housing Corporation of  
Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 F 000.000.0000

OWNER

**utile**  
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617.423.7200 F 617.423.1414  
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6698

CIVIL

BF&A

17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

M/E/P/FP

STAMP

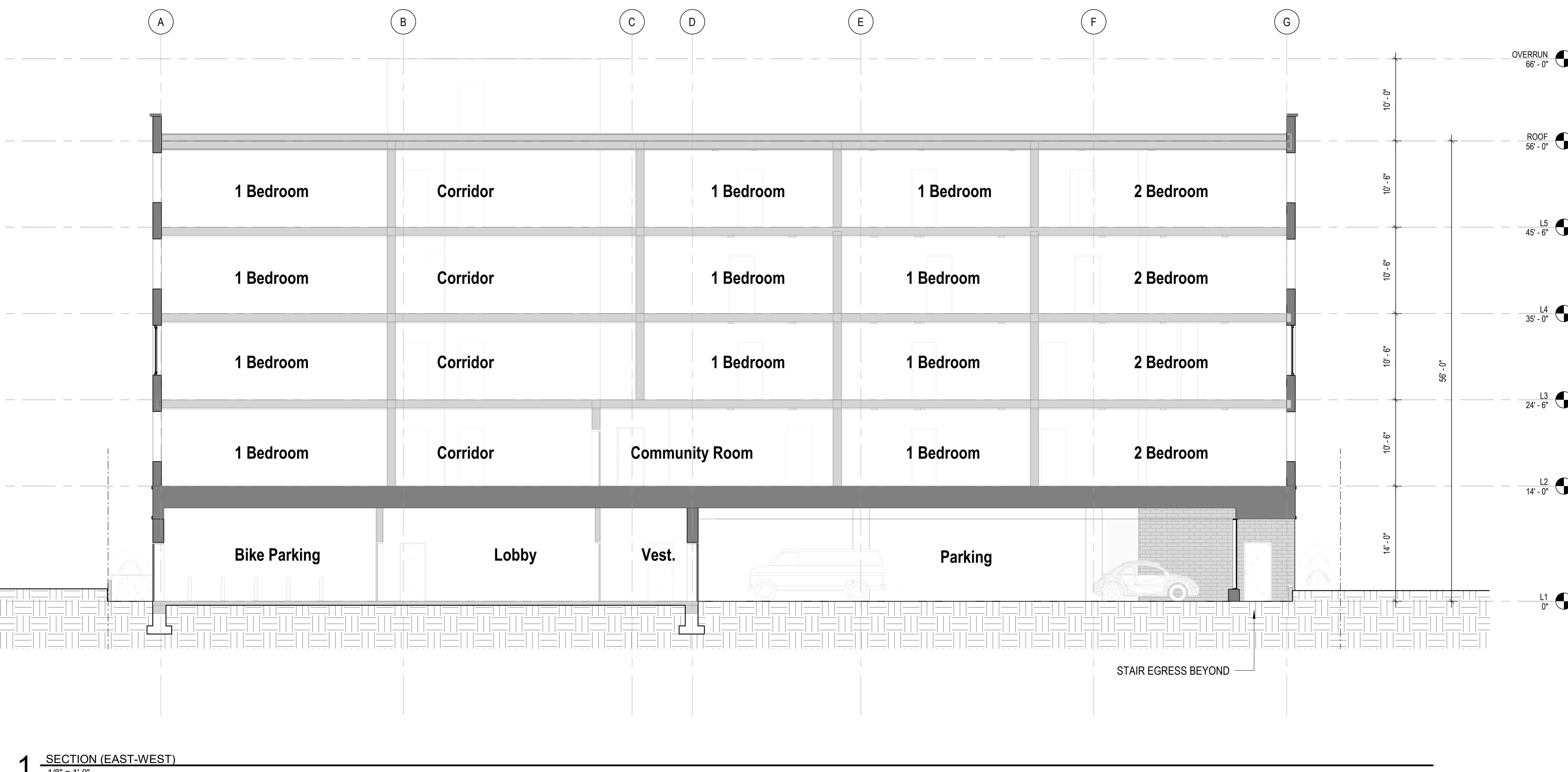
DATE ISSUE / REVISION  
03/09/2023 COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER  
1/8" = 1'-0" 2244

BUILDING SECTIONS - E-W

**A3.50**



10 SUNNYSIDE  
AVE.

10 SUNNYSIDE AVE.  
ARLINGTON, MA 02474

PROJECT

Housing Corporation of  
Arlington

252 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474  
P 781.859.5294 F 000 000.0000

OWNER

**utile**  
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617.423.2200 F 617.423.1414  
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET  
FRAMINGHAM, MA 01701  
P 508.877.6698

CIVIL

BF&A

17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978.486.4301

M/E/P/FP

STAMP

DATE ISSUE / REVISION  
03/09/2023 COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER  
1/8" = 1'-0" 2244

BUILDING SECTIONS - N-S

A3.51

